



VAJRAM Elina

2&3 Bedroom Apartments

Thanisandra Main Road, Bangalore



**A QUALITY HOME
FOR A HAPPIER TOMORROW**



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At Vajram Elina, life takes a different course. Vajram Elina offers everything you would want in a home. In fact, every square foot of space at Vajram Elina has been designed to utilize functionality and offer maximum comfort. Built on 1 acre of serene and scenic

land, you will get to choose from 87 units comprising of 2 & 3 BHK options.

Vajram Elina strategically located in Thanisandra Main road and it is close to Manyta Tech Park, Hebbal and Outer ring road.

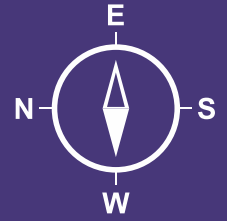


PRIME LOCATION | SERENE & PEACEFUL SURROUNDINGS | GREAT VALUE PRICING | GOOD QUALITY SPECIFICATION

VASTU COMPLIANT | AMPLE NATURAL LIGHT AND CROSS VENTILATION | MINIMUM COMMON WALLS

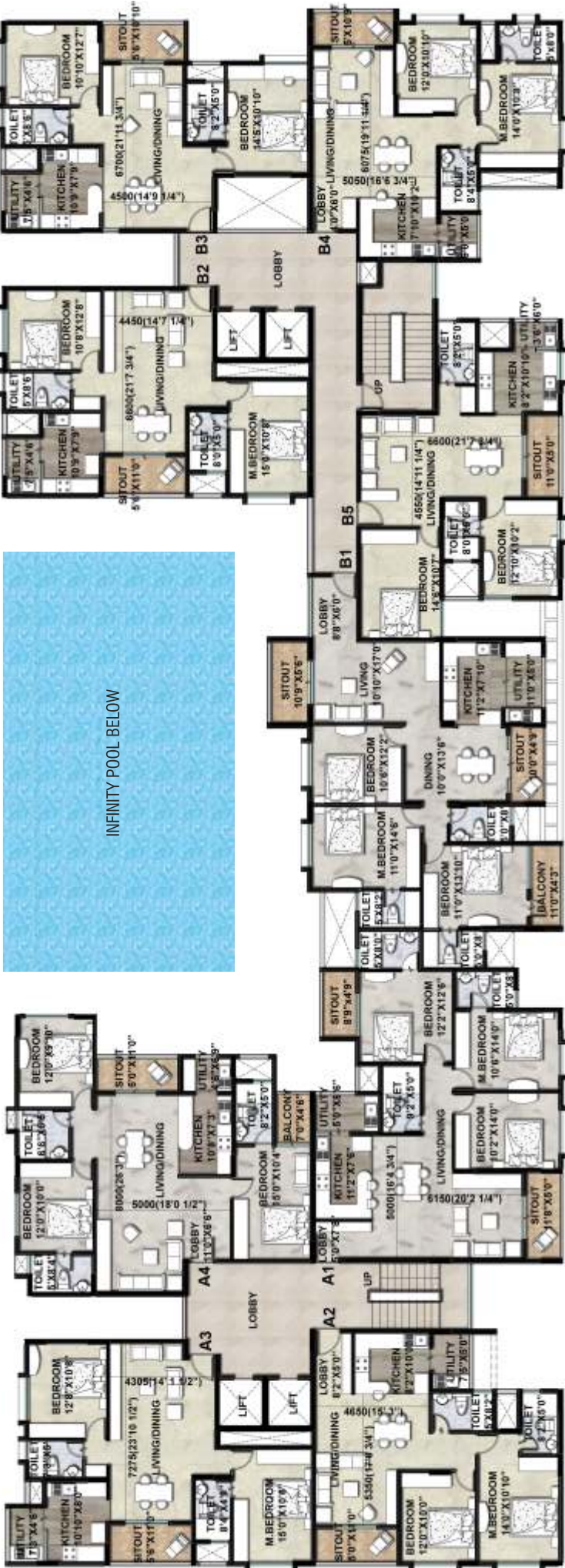
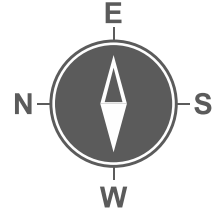
AREA BOUND TO APPRECIATE IN NEXT 1-3 YRS | 2 & 3 BHK (1119 – 1658 SFT) | G+ 10 Floors, 87 UNITS , 1 ACRE.

MASTER PLAN



1. Infinity Pool with Deck
2. Banquet Hall with attached Pantry
3. Table Tennis
4. Indoor Games Room with Lounge
5. Gymnasium
6. Yoga
7. Library
8. Children's Play Area
9. Visitor Car Park
10. 24X7 Security
11. Roof Top : Walking track, Garden
& Gossip Corner

TYPICAL FLOOR PLAN



| 2 BHK | | | |
|-------|------|-------|--------|
| TYPE | SFT | FLOOR | FACING |
| A2 | 1139 | 1-10 | EAST |
| B5 | 1119 | 1-10 | NORTH |
| B4 | 1136 | 1-10 | WEST |
| B3 | 1157 | 1-10 | WEST |
| A3 | 1176 | 1-10 | EAST |
| B2 | 1183 | 2-10 | EAST |
| A1 | 1218 | 1-3 | WEST |
| 3 BHK | | | |
| TYPE | SFT | FLOOR | FACING |
| A4 | 1464 | 2-10 | WEST |
| B1 | 1658 | 2-10 | EAST |
| A1 | 1522 | 4-10 | WEST |

TECHNICAL SPECIFICATIONS

STRUCTURE & WALLS

Seismic Zone II complaint RCC Framed Structure with consideration of Wind load.
Walls - Concrete Block Masonry with Smooth finished plastering
Two Level of Car Parking.

FLOORING

Living, Bedrooms, Dining, Kitchen, Foyer - Superior Quality Vitrified (2x2) Tiles
Utility and Balcony - Superior Quality Ceramic Tiles
Toilets: Superior Quality Anti Skid Ceramic Tiles
Common Areas: Granite / Vitrified Flooring.

DOORS

Main Door - Imported Wood Frame with B.S.T Door
Other Doors - Imported Wood Frame with Flush /Skin Door
Main Door - SS Hardware of Superior Quality
Other Doors - Powder Coated Hardware of Superior Quality.

WINDOW

UPVC Sliding Windows with Mosquito Mesh Shutter.

KITCHEN

Polished Black Granite Platform of 20 mm thickness
Stainless Steel sink with drain board
Dado TWO FEET above platform
Provision for Water Purifier and Instant Geyser.

TOILETS

Superior Quality Fixtures of Jaquar/Hindware or similar.
Superior Quality Ceramic Wall Tiles Up to 7' Ht
False Ceiling with grid Panels.

LIFTS

8 Passenger Capacity lift of Reputed make 1 in each block
12 Passenger Capacity lift of Reputed make 1 in each block.

PAINTINGS

Weather proof exterior emulsion for the exterior walls;
Acrylic emulsion for the internal walls & OBD for the ceiling.
Enamel for MS Grill and Internal Doors, Polish for Main Door.

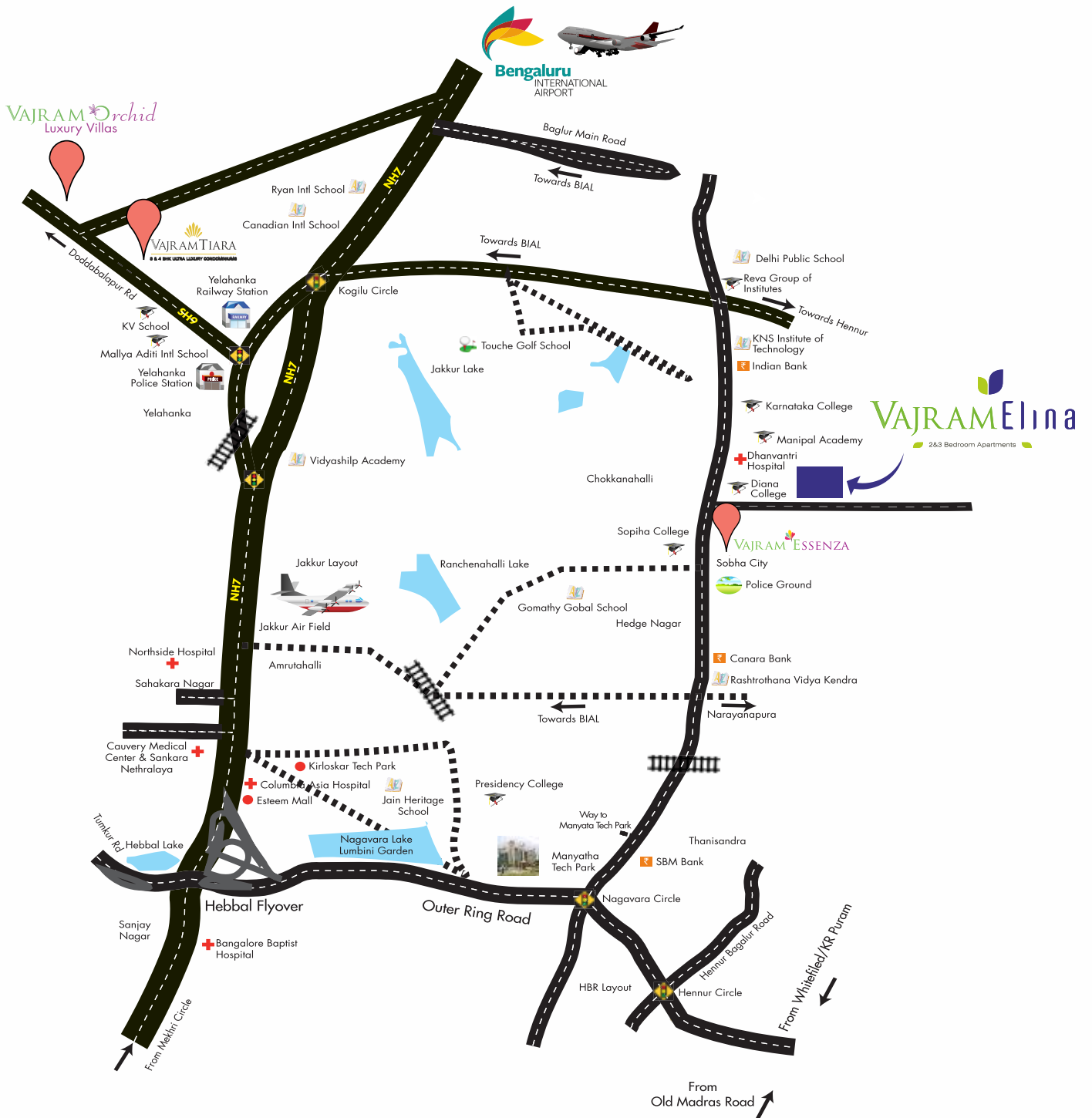
ELECTRICAL

Provision for AC Point in Master Bedroom
FRLS superior quality Copper wires
Telephone and Television Points in living and Master Bedroom
Modular Switches: Anchor/ Legrand / Equivalent.

GENERATOR BACKUP

100% for common Areas; 1KV for each Apartment.

LOCATION MAP



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